

Maie Ellis Elementary School – Relocatable Classroom

Fallbrook Union Elementary School District

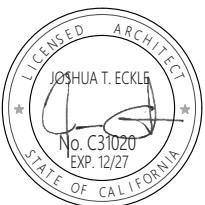
ADDENDUM No. 1 - Bid 434-25-26

September 11, 2026

The following is issued to supplement or revise the Contract Documents. The revisions to the documents are described below. Unless specifically changed by this addendum, the remainder of the drawings, documents, specifications, and bid date/time shall remain in effect as originally issued.

DRAWINGS:

- Item #1.** REVISION – Title Sheet C-201
a. Scale updated to read as '1"=5' ".
- Item #2.** REVISION– New Work Overall Site Plan A-101
a. Revised keynote 22 to read as, **"...Relocatable to be placed on concrete stem wall/foundation constructed by the general contractor per the attached manufacturer's drawings and details drawings"**.
- Item #3.** ADDITION - New Work Overall Site Plan A-101
a. Provided keynote 36 reading as, **"New chain link pedestrian gate with panic hardware per detail 13/A-110. Refer to door and pedestrian gates on sheet T-002"**. Keynote provided on plan.
- Item #4.** REVISION - Enlarged Parking Plan A-103
a. Revised keynote 13 to read as, **"Demo and remove existing chain link gate. Provide new accessible single leaf pedestrian gate per detail 13/A-110..."**.
- Item #5.** REVISION - Enlarged Parking Plan A-103
a. Revised keynote 21 to read as, **"...Prep to receive new asphalt paving per civil"**.
- Item #6.** ADDITION - Enlarged Parking Plan A-103
a. Provided keynote 38 reading as, **"Demo and remove existing concrete paving. Prep to receive new asphalt paving per civil"**. Keynote provided on plan.
- Item #7.** REVISION - Enlarged Path of Travel Plan A-104
a. Revised keynote 12 to read as, **"Demo and remove existing steel gate. Provide new single leaf..."**.
- Item #8.** REVISION –Enlarged New Work Site Plan A-106
a. Revised keynote 10 to read as, **"...Relocatable to be placed on concrete stem wall/foundation constructed by the general contractor per the attached manufacturer's drawings and details drawings"**.
b. Revised site plan to coordinate storm drain line and inlet locations with Civil.
- Item #9.** ADDITION - Enlarged New Work site Plan A-106
a. Provided keynote 29 reading as, **"Remove existing inlet"**. Keynote provided on plan
b. Provided keynote 30 reading as, **"New inlet per civil drawings"**. Keynote provided on plan.
- Item #10.** REVISION – Electrical Legend and Notes E-1.0
a. Revised lighting fixture schedule to reflect change from solar powered site lighting to hardwired site lighting.
- Item #11.** REVISION - Overall Site Plan E-1.1
a. New Work Overall Site Plan drawing updated to show new site lighting connection to power sources.
b. Detail 2/E-1.1 updated to reflect the change from solar powered lighting to hardwired lighting.
- Item #12.** REVISION - Floor Plan - Power E-3.1
a. Revised Floor Plan - Power drawing to show site lighting connection to new panel and existing MSB.



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PRE-BID RFI's:

Question #1. Please provide the scope of work for NextMod so we have an understanding on what they are providing.

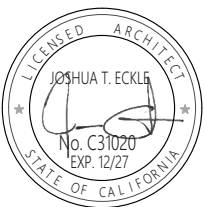
- a. The scope of work is clarified within the bidding documents.

Question #2. Is the portable building supplied by the District? If so, is the delivery, including but not limited to truck, crane, set up, etc. also by the District?

- a. The portable building is supplied by NextMod. Delivery of the modular sections and crane set up are supplied by NextMod.

Attachments:

Revision/Clarification drawings: C-201, A-101, A-103, A-104, A-106, E-1.0, E-1.1, E-3.

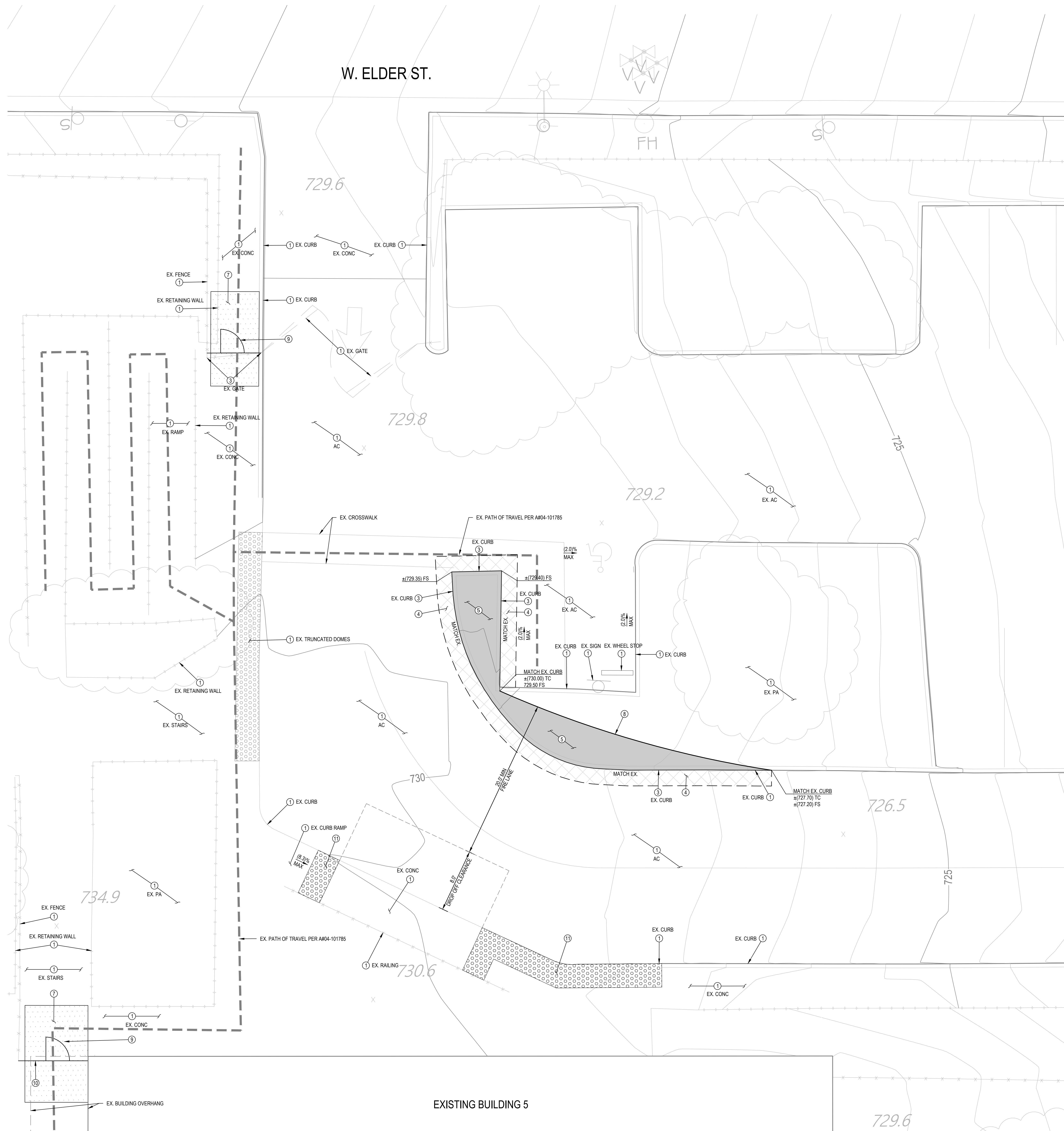


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CONSTRUCTION NOTES

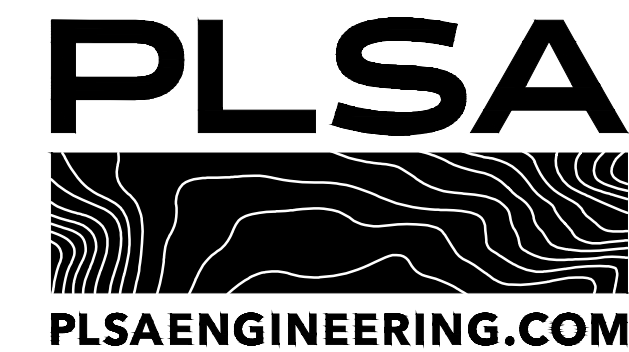
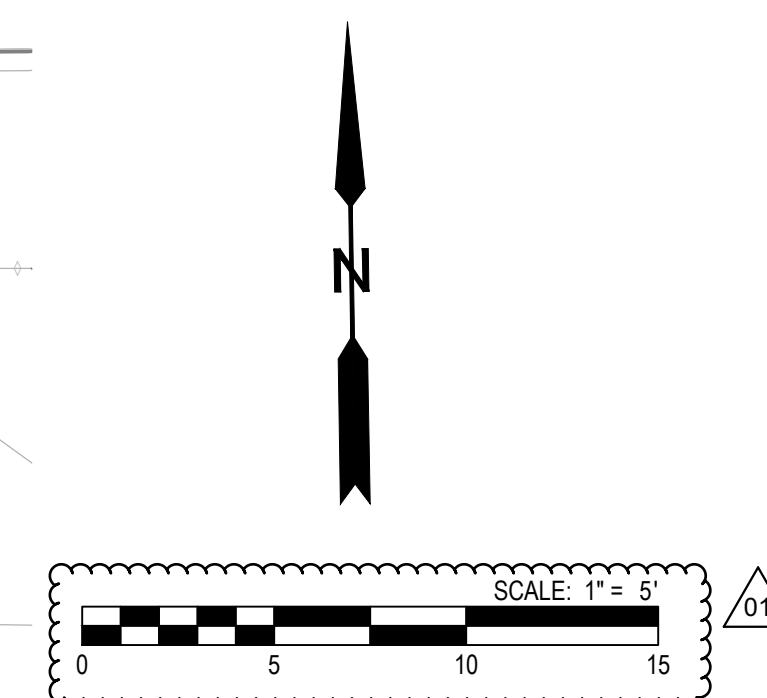
- ① PROTECT IN PLACE (ITEM PER PLAN)
- ② RELOCATE (ITEM PER PLAN)
- ③ REMOVE (ITEM PER PLAN)
- ④ GRIND AND OVERLAY EXISTING AC PAVEMENT PER DETAIL ON SHEET C-400
- ⑤ CONSTRUCT AC PAVING TO MATCH EXISTING FIRE LANE SECTION.
- ⑥ REMOVE AND RECONSTRUCT CONCRETE PAVEMENT PER ARCHITECTURAL DETAIL 1 ON SHEET A-109
- ⑦ REMOVE AND RECONSTRUCT CONCRETE PAVEMENT PER ARCHITECTURAL DETAIL 1 ON SHEET A-109 TO MEET ADA COMPLIANCE.
- ⑧ INSTALL 6" CONCRETE CURB PER SDDSD G-01 ON SHEET C-400
- ⑨ INSTALL PEDESTRIAN GRATE FOR PERSON DETAIL 2 ON SHEET A-110
- ⑩ REMOVE AND INSTALL STEEL FENCE PER ARCHITECTURAL DETAIL 1 ON SHEET A-110
- ⑪ INSTALL TRUNCATED DORIES PER ARCHITECTURAL DETAIL 11 ON SHEET A-108

UTILITY CONSTRUCTION NOTES

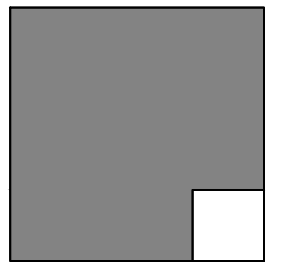
20. CONNECT TO EXISTING CONTRACTOR TO FIELD VERIFY EXISTING PIPE DIAMETER, LOCATION, AND INVERT PRIOR TO INSTALLATION.
21. CONNECT BLDG 98 SEWER AND WATER TO EXISTING POINTS OF CONNECTION. CONTRACTOR TO VERIFY DEPTHS OF POINT OF CONNECTION.
22. INSTALL 12" SQUARE ATRIUM GRATE IN/SDS OR APPROVED EQL PER DETAIL ON SHEET C-400 MODULAR BUILDING FOR NUISANCE DRAINAGE.
23. INSTALL STORM DRAIN PIPE, SEE DATA TABLE HEREON, PIPE BEDDING AND TRENCH BACKFILL PER SDSRST STD. DWG. D-618. SEE DETAIL ON SHEET C-400
24. INSTALL PVC BEND FITTING (ANGLE AND SIZE PER PLAN).
25. BUILDING DOWNSPOUT POINT OF CONNECTION PER MODULAR BUILDING PLAN ON SHEET 452.N. PROVIDE SPLASH BLOCK AT BOTTOM OF DOWNSPOUT.
26. INSTALL 12"IDC OLDCASTE INLET (OR APPROVED EQUAL) PER DETAIL ON SHEET C-400.

NOTES

1. CONTRACTOR TO POTHOLE AND VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES, AND NOTIFY ENGINEER OF DISCREPANCIES FROM THAT SHOWN ON THE PLANS, PRIOR TO CONSTRUCTION.
2. THE LOCATIONS OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN OBTAINED FROM AVAILABLE RECORDS FOR THE BENEFIT OF THE CONTRACTOR. THE DEPICTION OF UTILITIES SHOWN ON THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF THEIR EXACT LOCATION, DEPTH, SIZE, OR TYPE. EXACT LOCATION, DEPTH, TYPE AND SIZE MAY BE VERIFIED BY POTHOLES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT ALL UNDERGROUND AND/OR OVERHEAD STRUCTURES AND/OR UTILITIES WHETHER OR NOT THEY ARE SHOWN HEREON.
3. MINIMUM 3" COVER TO BE PROVIDED OVER DOMESTIC WATER, UNLESS OTHERWISE SPECIFIED AT THE BUILDING POINT OF CONNECTION.

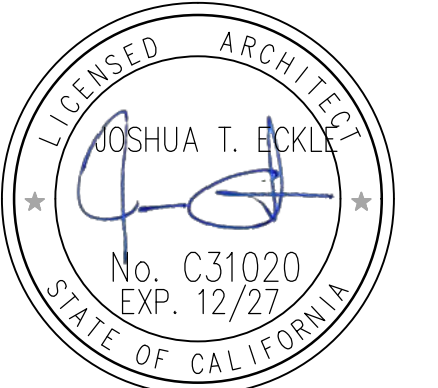


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RELOCATABLE CLASSROOM

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321 IOWA ST FALLBROOK CA 92028

REVISIONS		
MARK	DATE	DESCRIPTION
	07/15/2026	OTC SUBMITTAL
01	09/11/2026	ADDENDUM 01

PROJECT NO: 26-008

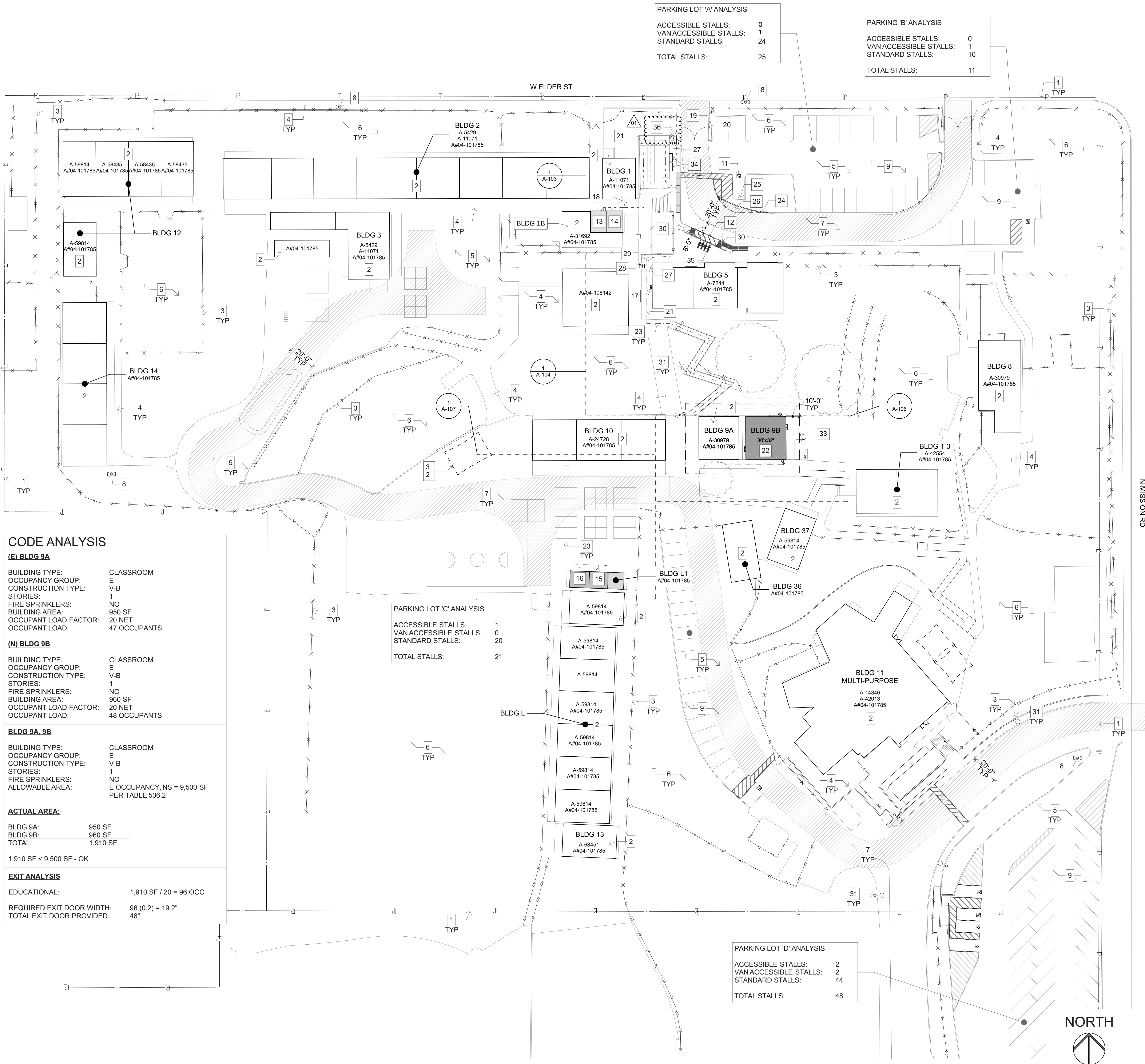
MODEL FILE:
26-008_Relo at Maie Ellis ES.pin

PLOT DATE:
7/14/2026

SHEET TITLE

PAVING PLAN

C-201



CODE ANALYSIS

(E) BLDG 9A

BUILDING TYPE: CLASSROOM
OCCUPANCY GROUP: E
CONSTRUCTION TYPE: V-B
STORIES: 1
FIRE SPRINKLERS: NO
BUILDING AREA: 950 SF
OCCUPANT LOAD FACTOR: 20 NET
OCCUPANT LOAD: 47 OCCUPANTS

(N) BLDG 9B

BUILDING TYPE: CLASSROOM
OCCUPANCY GROUP: E
CONSTRUCTION TYPE: V-B
STORIES: 1
FIRE SPRINKLERS: NO
BUILDING AREA: 960 SF
OCCUPANT LOAD FACTOR: 20 NET
OCCUPANT LOAD: 48 OCCUPANTS

BLDG 9A, 9B

BUILDING TYPE: CLASSROOM
OCCUPANCY GROUP: E
CONSTRUCTION TYPE: V-B
STORIES: 1
FIRE SPRINKLERS: NO
ALLOWABLE AREA: E OCCUPANCY, NS = 9,500 SF PER TABLE 506.2

ACTUAL AREA:

BLDG 9A: 950 SF
BLDG 9B: 960 SF
TOTAL: 1,910 SF

EXIT ANALYSIS

EDUCATIONAL: 1,910 SF / 20 = 96 OCC

REQUIRED EXIT DOOR WIDTH: 96 (0.2) = 19.2"

TOTAL EXIT DOOR PROVIDED: 48"

PARKING LOT 'C' ANALYSIS

ACCESSIBLE STALLS: 1
VAN ACCESSIBLE STALLS: 0
STANDARD STALLS: 20
TOTAL STALLS: 21

PARKING LOT 'A' ANALYSIS

ACCESSIBLE STALLS: 0
VAN ACCESSIBLE STALLS: 1
STANDARD STALLS: 24
TOTAL STALLS: 25

PARKING 'B' ANALYSIS

ACCESSIBLE STALLS: 0
VAN ACCESSIBLE STALLS: 1
STANDARD STALLS: 10
TOTAL STALLS: 11

PARKING LOT 'D' ANALYSIS

ACCESSIBLE STALLS: 2
VAN ACCESSIBLE STALLS: 2
STANDARD STALLS: 44
TOTAL STALLS: 48

KEYNOTES

- EXISTING PROPERTY LINE.
- EXISTING BUILDING - N.I.C.
- EXISTING FENCING TO REMAIN.
- EXISTING CONCRETE PAVING TO REMAIN.
- EXISTING ASPHALT PAVING TO REMAIN.
- EXISTING LANDSCAPE TO REMAIN.
- EXISTING 20'-0" WIDE FIRE LANE TO REMAIN PER DSA APPROVED A#04-101785. CURB OR PAVEMENT PAINTED RED WITH WHITE LETTERING WHICH READS "NO PARKING - FIRE LANE".
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING PARKING TO REMAIN.
- EXISTING VAN ACCESSIBLE PARKING TO REMAIN PER A#04-101785. REFER TO ENLARGED PARKING PLAN 1/A-103.
- EXISTING ACCESSIBLE PARKING TO REMAIN PER A#04-101785. REFER TO ENLARGED PARKING PLAN 1/A-103.
- EXISTING ACCESSIBLE DROP OFF ZONE PER A#04-101785. REFER TO ENLARGED PLAN 1/A-103 AND DETAIL 4/A-108.
- EXISTING WOMENS RESTROOM TO REMAIN PER ENLARGED PLANS 1/ A-201 .
- EXISTING MENS RESTROOM TO REMAIN PER ENLARGED PLANS 1/A-201 .
- EXISTING GIRLS RESTROOM TO REMAIN PER ENLARGED PLANS 2/ A-201 .
- EXISTING BOYS RESTROOM TO REMAIN PER ENLARGED PLANS 2/A-201 .
- EXISTING ACCESSIBLE DRINKING FOUNTAIN TO REMAIN PER A#04-101785. REFER TO DETAIL 6/A-109.
- EXISTING ACCESS CONTROLLED DOUBLE LEAF GATE TO REMAIN PER DETAIL 18/A-110 . REFER TO DOOR AND PEDESTRIAN GATE NOTES ON SHEET T-002.
- EXISTING TOW-AWAY SIGNAGE TO REMAIN PER A#04-101785. REFER TO DETAIL 12/A-108
- EXISTING VEHICULAR DOUBLE LEAF GATE TO REMAIN.
- PATH OF TRAVEL PER DSA APPROVED A#04-101785. REFER TO ENLARGED PLANS FOR SLOPES.
- INSTALLATION OF NEW 30'x32' RELOCATABLE CLASSROOM BUILDING. REFERENCE ATTACHED DRAWINGS PC#04-122995. RELOCATABLE TO BE PLACED ON CONCRETE STEM WALL/FOUNDATION CONSTRUCTED BY THE GENERAL CONTRACTOR PER THE ATTACHED MANUFACTURER'S DRAWINGS AND DETAILS.
- NEW PATH OF TRAVEL. REFER TO ENLARGED PLANS FOR SLOPES.
- NEW CONCRETE CURB PER CIVIL DRAWINGS.
- EXISTING CONCRETE WHEELSTOP TO REMAIN.
- NEW ASPHALT PAVING PER DETAIL 4/A-109 .
- NEW CONCRETE PAVING PER DETAIL 1/A-109 .
- NEW STEEL FENCING PER DETAIL 1/A-110 .
- NEW SINGLE LEAF STEEL PEDESTRIAN GATE WITH PANIC HARDWARE PER DETAIL 2/A-110 . REFER TO DOOR AND PEDESTRIAN GATES ON SHEET T-002.
- NEW TRUNCATED DOMES PER DETAIL 11/A-108 .
- NEW SITE LIGHTING PER ELECTRICAL DRAWINGS.
- EXISTING SHADE STRUCTURE TO REMAIN PER DSA APPROVED A#04-121619.
- ASSUMED LOT LINES.
- NEW STAFF BIKE LOCKERS.
- NEW STUDENT BIKE RACKS.
- NEW SINGLE LEAF CHAIN LINK PEDESTRIAN GATE WITH PANIC HARDWARE PER DETAIL 13/A-110 . REFER TO DOOR AND PEDESTRIAN GATES ON SHEET T-002.

GENERAL NOTES

- ALL LANDSCAPE AREAS, PAVING, AND SURFACING DISTURBED BY THE WORK OF THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR TO ORIGINAL INDUSTRY STANDARD OF QUALITY. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, SIGNAL, PLUMBING, ETC. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITIES DURING CONSTRUCTION AND/OR TRENCHING.

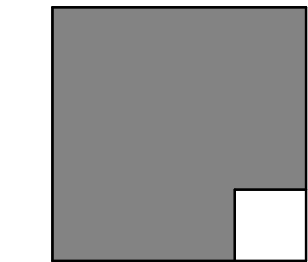
GENERAL LANDSCAPE NOTES

- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROTECT AND MAINTAIN ALL LANDSCAPING AND IRRIGATION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- AREAS OF EXISTING LANDSCAPE THAT ARE DISTURBED BY THE ASSOCIATED WORK SHALL BE RETURNED TO THE INDUSTRY STANDARD OF QUALITY BY THE GENERAL CONTRACTOR, INCLUDING PURCHASING AND INSTALLING NEW PLANT MATERIAL WHERE REQUIRED.
- THE EXISTING IRRIGATION SYSTEMS SHALL BE MODIFIED AS REQUIRED TO ACCOMMODATE THE PROPOSED CONSTRUCTION ACTIVITIES. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE AN IRRIGATION MODIFICATION PLAN FOR REVIEW AND APPROVAL BY THE DISTRICT PRIOR TO SYSTEM MODIFICATIONS. THIS PLAN SHALL INCLUDE THE LOCATION OF ALL SUBSURFACE IRRIGATION LINES, HEAD, VALVES, AND ASSOCIATED APPURTENANCES REQUIRED TO PROVIDE A COMPLETE IRRIGATION SYSTEM.
- ALL IRRIGATION SYSTEMS SHALL STAY IN CONTINUED OPERATION AND ANY PROPOSED IRRIGATION SHUT DOWN SHALL BE APPROVED BY THE DISTRICT NO LATER THAN 72 HOURS PRIOR TO PLANNED SHUTDOWN.

SITE ACCESSIBILITY NOTES

- DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL WHICH SHALL BE A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND ABOVE 27" AND LESS THAN 80" PER CBC 11B-202.4. SEE: (E) PER DSA APPROVED A#04-101785 (N) - - - - -
- DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:**
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT: 1) HAVE BEEN IDENTIFIED AND, 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENT, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.
- FOR ALL GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL, THE GRID/OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 1/2" MAXIMUM IN THE DIRECTION OF TRAFFIC FLOW.
- GATES AT THE PATH OF TRAVEL SHALL COMPLY WITH EXIT DOOR REQUIREMENTS.
- MANUAL CANE BOLTS, MANUALLY LOCKING HARDWARE, CHAINS, ETC. ARE NOT ALLOWED ON GATES WITH PANIC HARDWARE.

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01	09/11/2026	ADDENDUM 01

PROJECT NO: 26-008

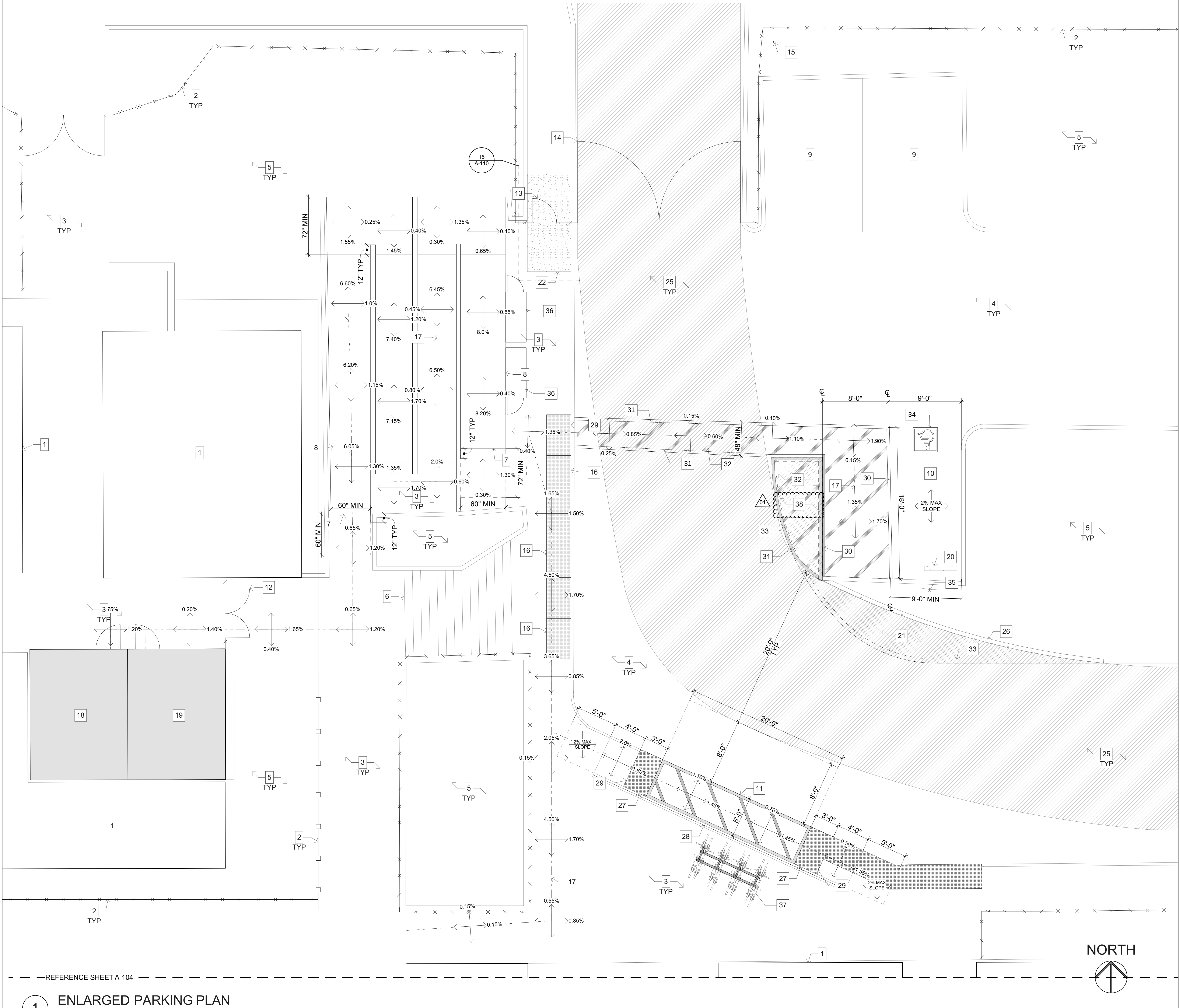
MODEL FILE:
26-008_Relo at Male Ellis ES.pln

PLOT DATE:
9/9/2026

SHEET TITLE

NEW WORK OVERALL
SITE PLAN

A-101



REFERENCE SHEET A-104

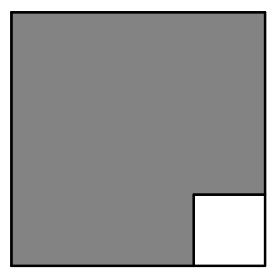
1 ENLARGED PARKING PLAN

SCALE: 1" = 5'

KEYNOTES

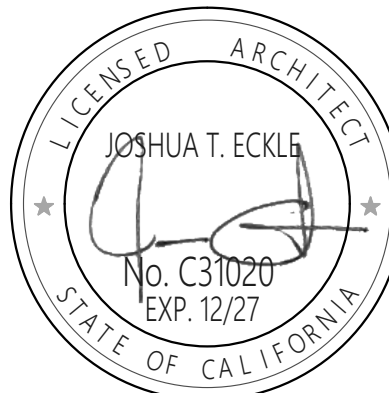
- EXISTING BUILDING TO REMAIN.
- EXISTING FENCING TO REMAIN.
- EXISTING CONCRETE PAVING TO REMAIN.
- EXISTING ASPHALT PAVING TO REMAIN.
- EXISTING LANDSCAPE TO REMAIN.
- EXISTING CONCRETE STAIRS TO REMAIN.
- EXISTING RAMP TO REMAIN.
- EXISTING RAMP HANDRAIL TO REMAIN PER DETAIL 2/A-108.
- EXISTING PARKING TO REMAIN.
- EXISTING VAN ACCESSIBLE PARKING TO REMAIN.
- EXISTING ACCESSIBLE DROP OFF ZONE TO REMAIN PER DETAIL 4/A-108.
- EXISTING ACCESS CONTROLLED DOUBLE LEAF GATE TO REMAIN PER DETAIL 2/A-110. REFER TO DOOR AND PEDESTRIAN GATE NOTES ON SHEET T-002.
- EXISTING VEHICULAR DOUBLE LEAF GATE TO REMAIN.
- EXISTING TOW-AWAY SIGNAGE TO REMAIN PER A#04-101785. REFER TO DETAIL 12/A-108.
- EXISTING TRUNCATED DOMES TO REMAIN.
- PATH OF TRAVEL PER DSA APPROVED A#04-101785.
- EXISTING WOMENS RESTROOM TO REMAIN PER ENLARGED PLAN 1/A-201.
- EXISTING MENS RESTROOM TO REMAIN PER ENLARGED PLAN 1/A-201.
- EXISTING CONCRETE WHEEL STOP TO REMAIN.
- DEMO AND REMOVE EXISTING LANDSCAPE AREA. PREP TO RECEIVE NEW ASPHALT PAVING PER CIVIL.
- NEW CONCRETE PAVING PER DETAIL 1/A-109.
- NEW STEEL FENCING PER DETAIL 1/A-110.
- NEW SINGLE LEAF STEEL PEDESTRIAN GATE PER DETAIL 2/A-110. REFER TO DOOR AND PEDESTRIAN GATES ON SHEET T-002.
- EXISTING 20'-0" MIN WIDE FIRE LANE WITH PAINTED CURB OR PAVEMENT RED WITH WHITE LETTERING WHICH READS: "NO PARKING FIRE LANE".
- NEW CONCRETE CURB PER CIVIL DRAWINGS.
- NEW TRUNCATED DOMES PER DETAIL 11/A-108.
- EXISTING ACCESSIBLE DROP OFF ZONE SAFETY RAIL PER DETAIL 14/A-108.
- FLUSH TRANSITION.
- NEW 4" WIDE BLUE PAINTED BORDER.
- NEW 4" WIDE WHITE PAINTED BORDER.
- NEW 4" WIDE WHITE DIAGONAL STRIPING AT 36" O.C.
- EXISTING CURB TO BE DEMOLISHED.
- EXISTING PAVEMENT KARKING TO REMAIN PER DETAIL 19/A-108.
- EXISTING VAN ACCESSIBLE PARKING SIGNAGE TO REMAIN PER DETAIL 15/A-108.
- NEW STAFF BIKE LOCKER.
- NEW STUDENT BIKE RACK.
- DEMO AND REMOVE EXISTING CONCRETE PAVING. PREP TO RECEIVE NEW ASPHALT PAVING PER CIVIL.

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MODEL FILE:
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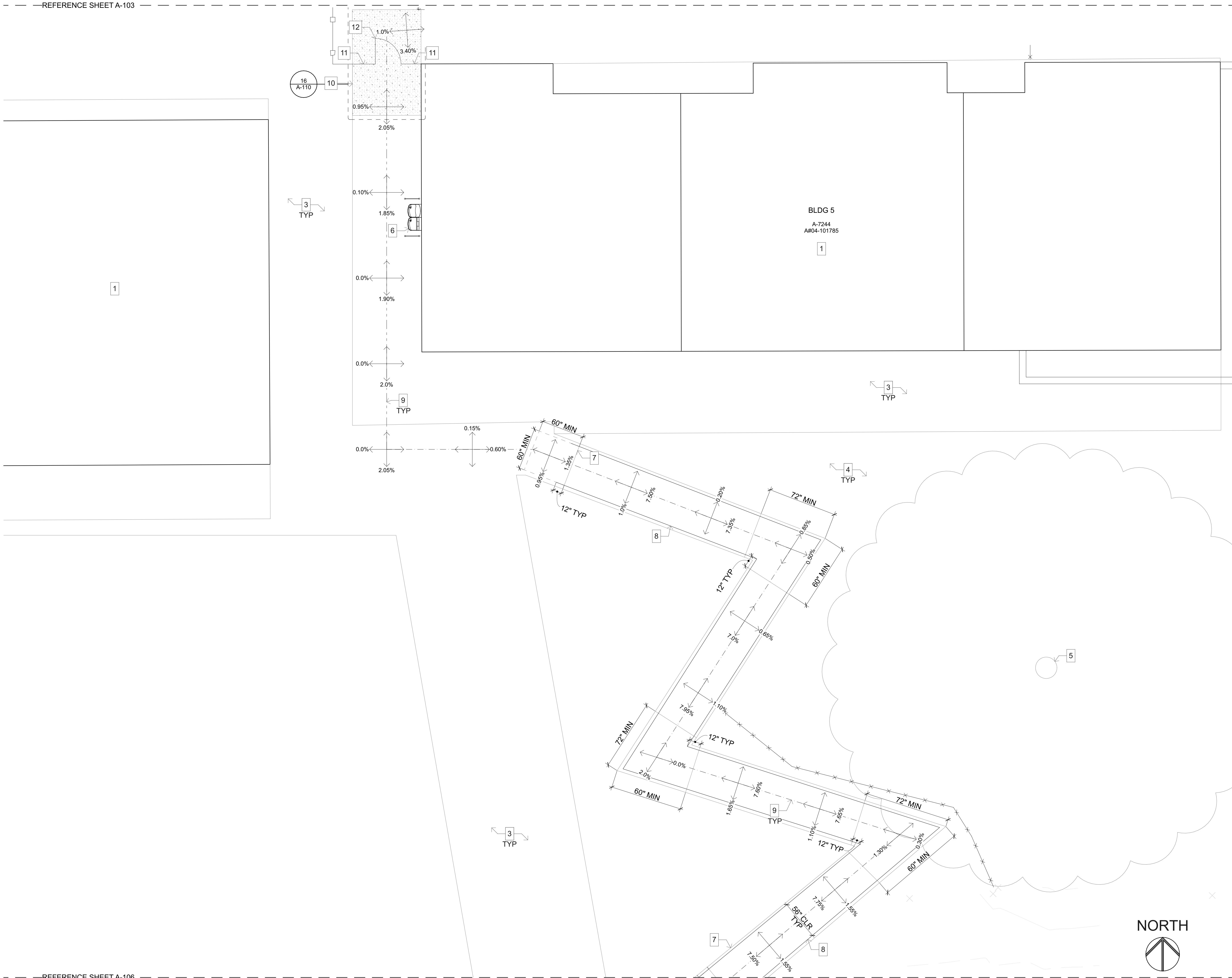
PLOT DATE:
9/9/2026

SHEET TITLE

ENLARGED PARKING
PLAN

A-103

REFERENCE SHEET A-103



1 ENLARGED RAMP PLAN

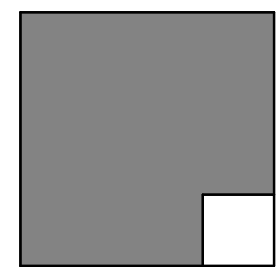
SCALE: 1" = 3'

KEYNOTES

- EXISTING BUILDING TO REMAIN.
- EXISTING FENCING TO REMAIN.
- EXISTING CONCRETE PAVING TO REMAIN.
- EXISTING LANDSCAPE TO REMAIN.
- EXISTING TREE TO REMAIN.
- EXISTING ACCESSIBLE DRINKING FOUNTAIN TO REMAIN PER A#04-101785. REFER TO DETAIL 6/A-109.
- EXISTING CONCRETE RAMP TO REMAIN.
- EXISTING RAMP HANDRAILS TO REMAIN.
- PATH OF TRAVEL PER DSA APPROVED A#04-101785.
- NEW CONCRETE PAVING PER DETAIL 1/A-109.
- NEW STEEL FENCING PER DETAIL 1/A-110.
- DEMO AND REMOVE EXISTING STEEL GATE. PROVIDE NEW SINGLE LEAF STEEL PEDESTRIAN GATE PER DETAIL 2/A-110. REFER TO DOOR AND PEDESTRIAN GATES ON SHEET T-002.

01

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01	09/11/2026	ADDENDUM 01

PROJECT NO: 26-008

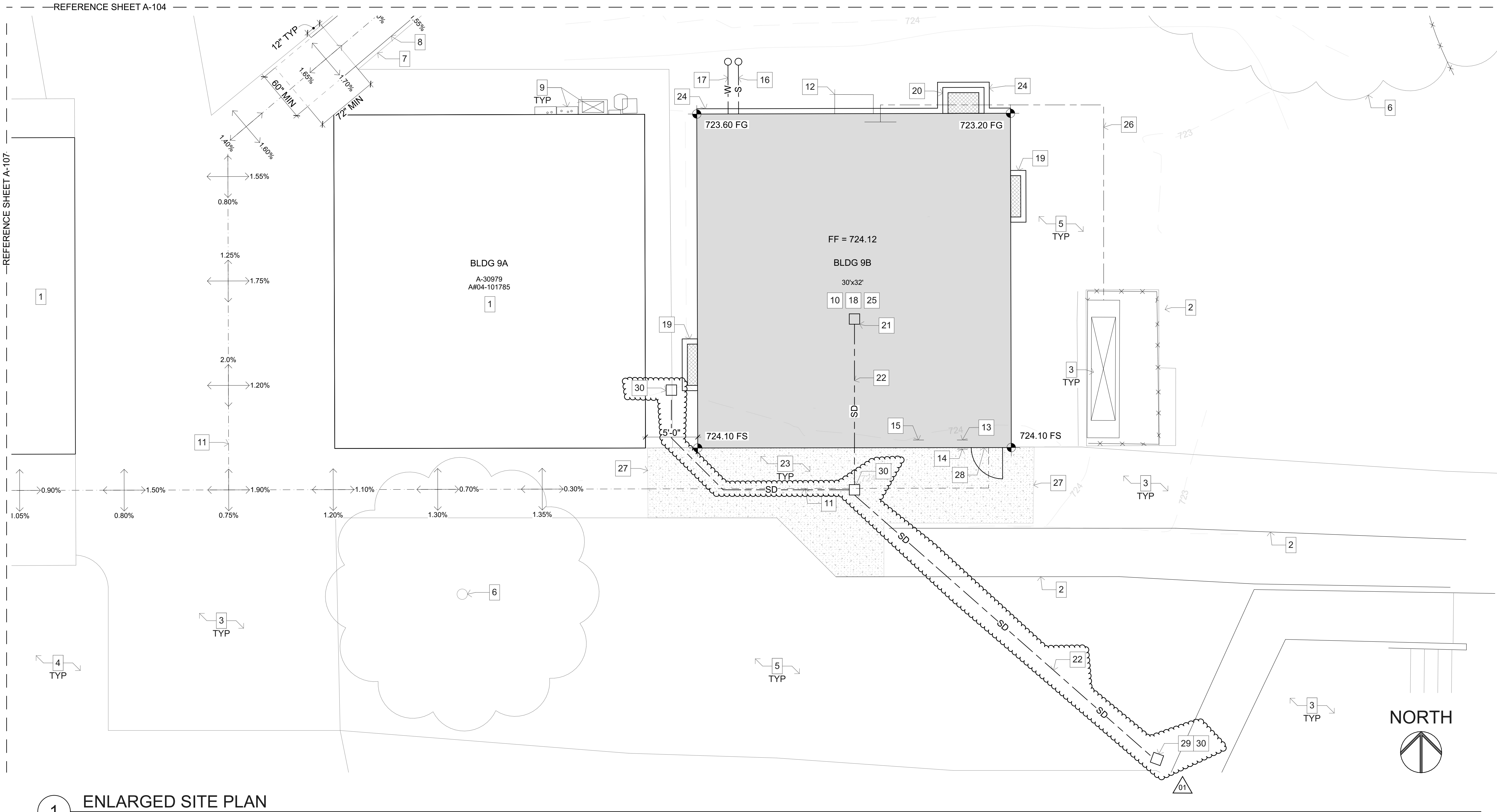
MODEL FILE:
26-008_Relo at Maie Ellis ES.pln

PLOT DATE:
9/9/2026

SHEET TITLE

ENLARGED PATH OF
TRAVEL PLAN

A-104



1 ENLARGED SITE PLAN
SCALE: 1" = 3'

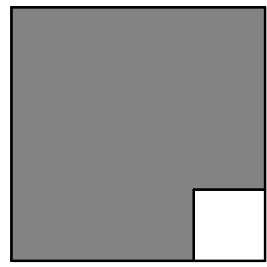
KEYNOTES

- EXISTING BUILDING TO REMAIN.
- EXISTING FENCING TO REMAIN.
- EXISTING CONCRETE PAVING TO REMAIN.
- EXISTING ASPHALT PAVING TO REMAIN.
- EXISTING LANDSCAPE TO REMAIN.
- EXISTING TREE TO REMAIN.
- EXISTING RAMP TO REMAIN PER ENLARGED RAMP PLAN 1/A-104 .
- EXISTING RAMP HANDRAIL TO REMAIN.
- EXISTING MECHANICAL EQUIPMENT TO REMAIN.
- INSTALLATION OF NEW 30'x32' RELOCATABLE CLASSROOM BUILDING. REFERENCE ATTACHED DRAWINGS PC#04-122995. RELOCATABLE TO BE PLACED ON CONCRETE STEM WALL/FOUNDATION CONSTRUCTED BY GENERAL CONTRACTOR PER THE ATTACHED MANUFACTURER'S DRAWINGS AND DETAILS.
- NEW PATH OF TRAVEL.
- NEW WALL MOUNTED HEAT PUMP PER PC DRAWINGS.
- NEW EXIT SIGNAGE PER PC DRAWINGS.
- NEW BUILDING ID SIGNAGE WITH ISA IDENTIFICATION PER PC DRAWINGS.
- NEW ASSISTIVE LISTENING SYSTEM SIGNAGE PER PC DRAWINGS.
- NEW 2" PVC SEWER LINE BELOW GRADE. SLOPE 1/4" PER FOOT MIN. CONNECT TO NEW RELO POC. PROVIDE GRADE LEVEL CLEAN OUT IN CONCRETE YARD BOX. REFER TO CIVIL FOR SITE POC.
- NEW 1/2" COPPER WATER LINE BELOW GRADE. CONNECT TO NEW RELO BUILDING POC. PROVIDE BUILDING SHUT-OFF BALL VALVE W/ VACUUM BREAKER IN CONCRETE YARD BOX. REFER TO CIVIL FOR SITE POC.
- NEW 2" CONCRETE GOPHER SLAB AT UNDERFLOOR CRAWL SPACE TO BE PROVIDED BY GENERAL CONTRACTOR.
- NEW 4'-0"x18" UNDERFLOOR VENT GRATES TO BE PROVIDED BY GENERAL CONTRACTOR PER PC#04-122995.
- NEW FOUNDATION ACCESS WELL TO BE PROVIDED BY GENERAL CONTRACTOR PER PC#04-122995.
- NEW ATRIUM GRATE UNDER MODULAR BUILDING PER CIVIL DRAWINGS.
- NEW STORM DRAIN LINE PER TRENCHING DETAILS 8&11/A-109 AND CIVIL DRAWINGS.
- NEW CONCRETE PAVING PER CIVIL DRAWINGS. CREATE FLUSH TRANSITION WITH EXISTING ADJACENT PAVING.
- 6" AC BERM PER CIVIL DRAWINGS.
- NEW LVT FLOORING AND WALL BASE AT INTERIOR OF NEW RELOCATABLE CLASSROOM TO BE PROVIDED BY GENERAL CONTRACTOR. REFER TO SPECIFICATIONS AND DETAIL 12/A-109 .
- POWER CONDUIT PER ELECTRICAL DRAWINGS.
- NEW CONCRETE PAVING TO EXISTING CONCRETE PAVING. REFER TO DETAIL 2/A-109 .
- FLOORING THRESHOLD PER DETAIL 12/A-109 .
- REMOVE EXISTING INLET.
- NEW INLET PER CIVIL DRAWINGS.

GENERAL NOTES

- FOR TRENCHING REFER TO DETAILS 8&11/A-109 AND CIVIL DRAWINGS.
- FOR WATERPROOFING AND FLASHING REFER TO RELOCATABLE DETAIL 1/A20.0 .

ALPHASTUDIO DESIGN GROUP



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CARLSBAD, 92009
760-431-2444
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ARCHITECT OF RECORD



ENGINEER OF RECORD

RELOCATABLE CLASSROOM

MAIE ELLIS ELEMENTARY SCHOOL

400 W ELDER ST
FALLBROOK, CA 92028

FALLBROOK UNION ELEMENTARY SCHOOL DISTRICT
321 IOWA ST FALLBROOK CA 92028

REVISIONS

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PROJECT NO: 26-008

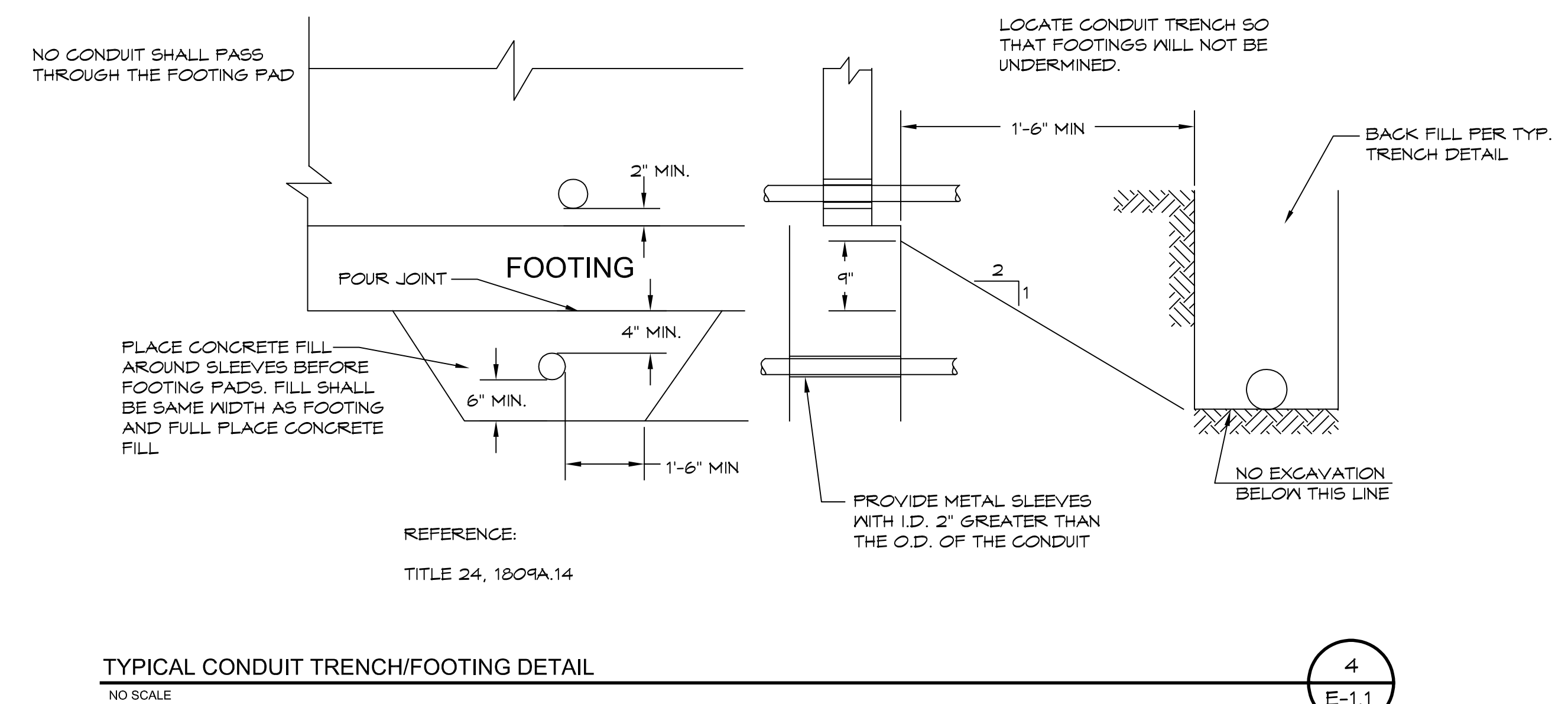
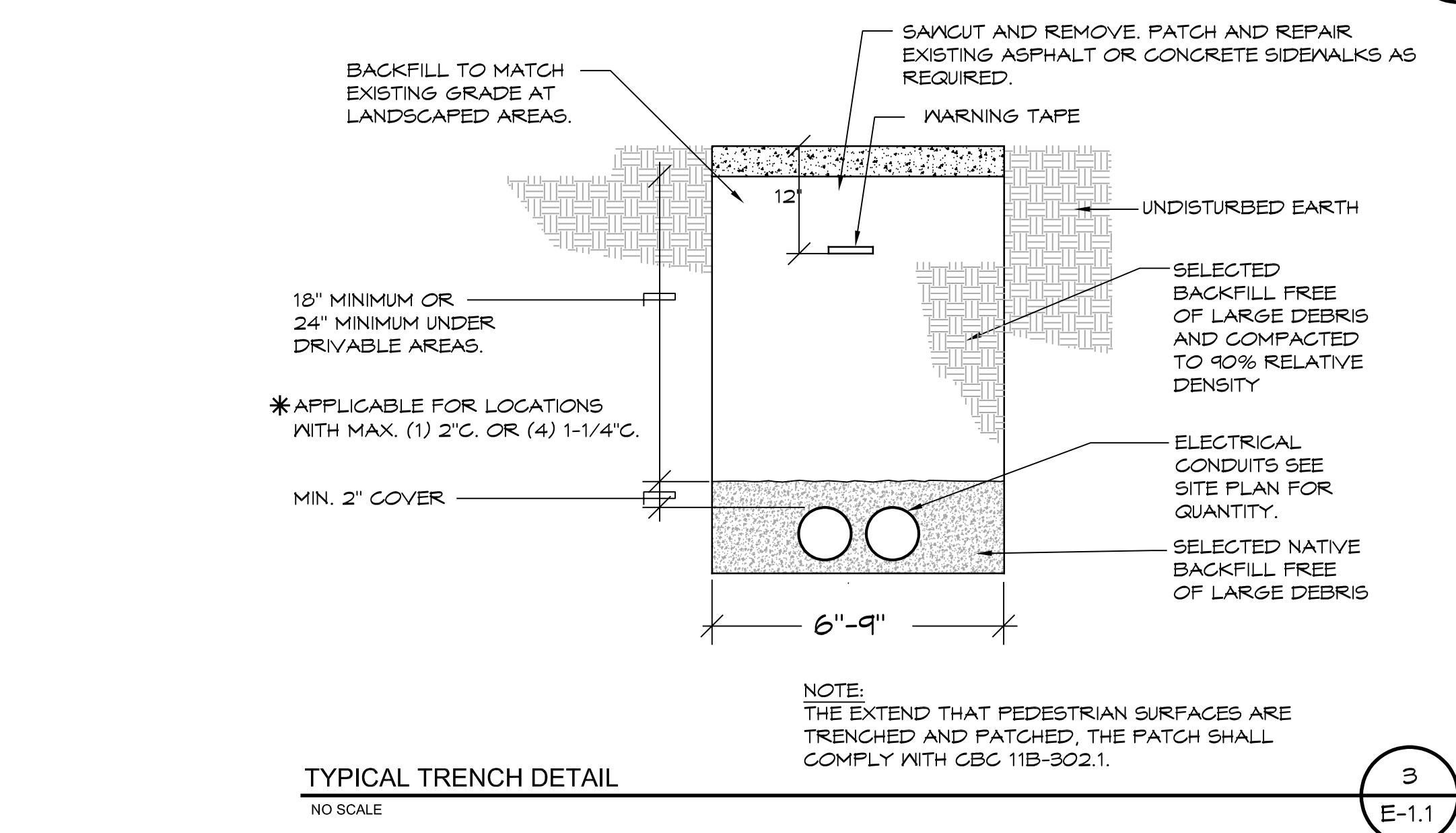
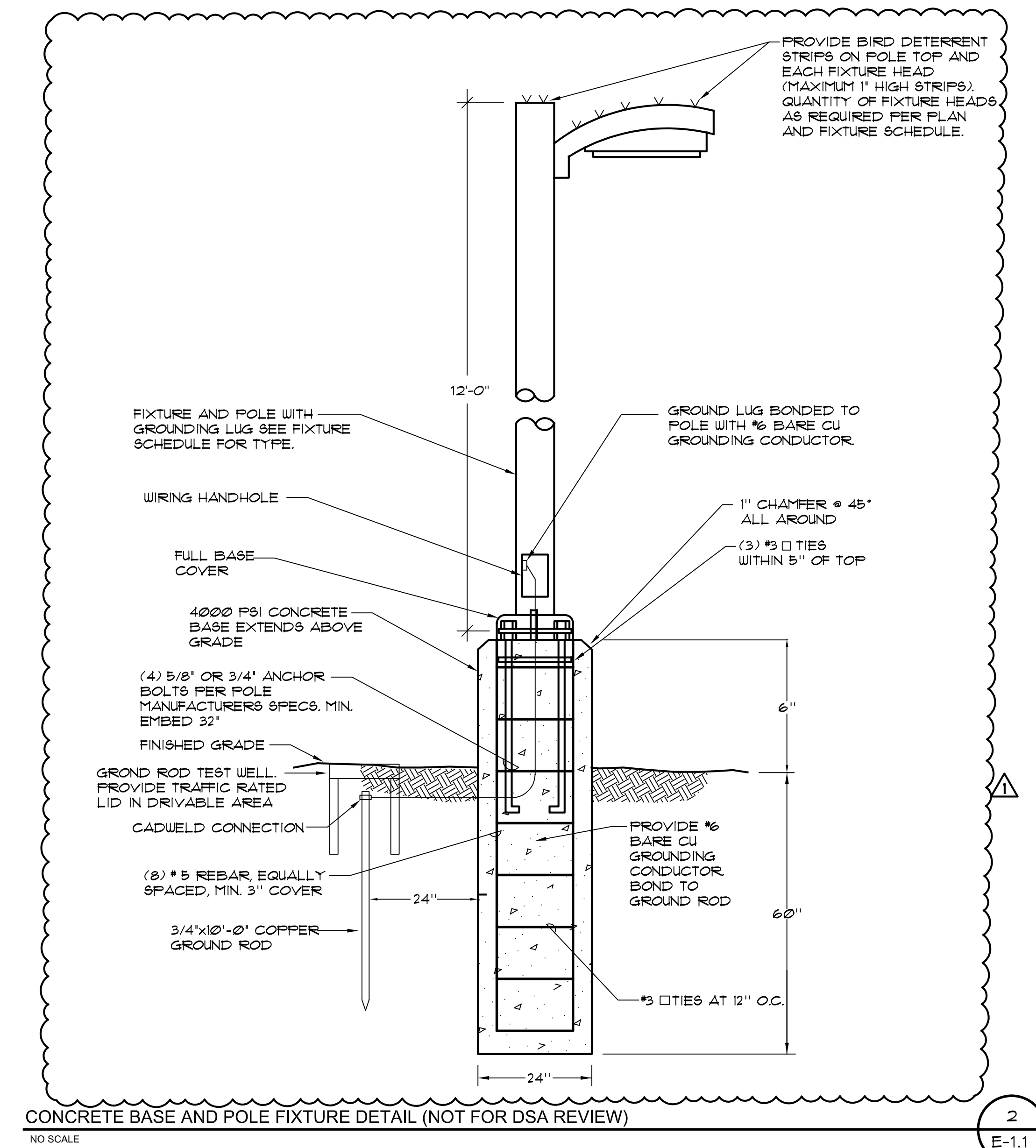
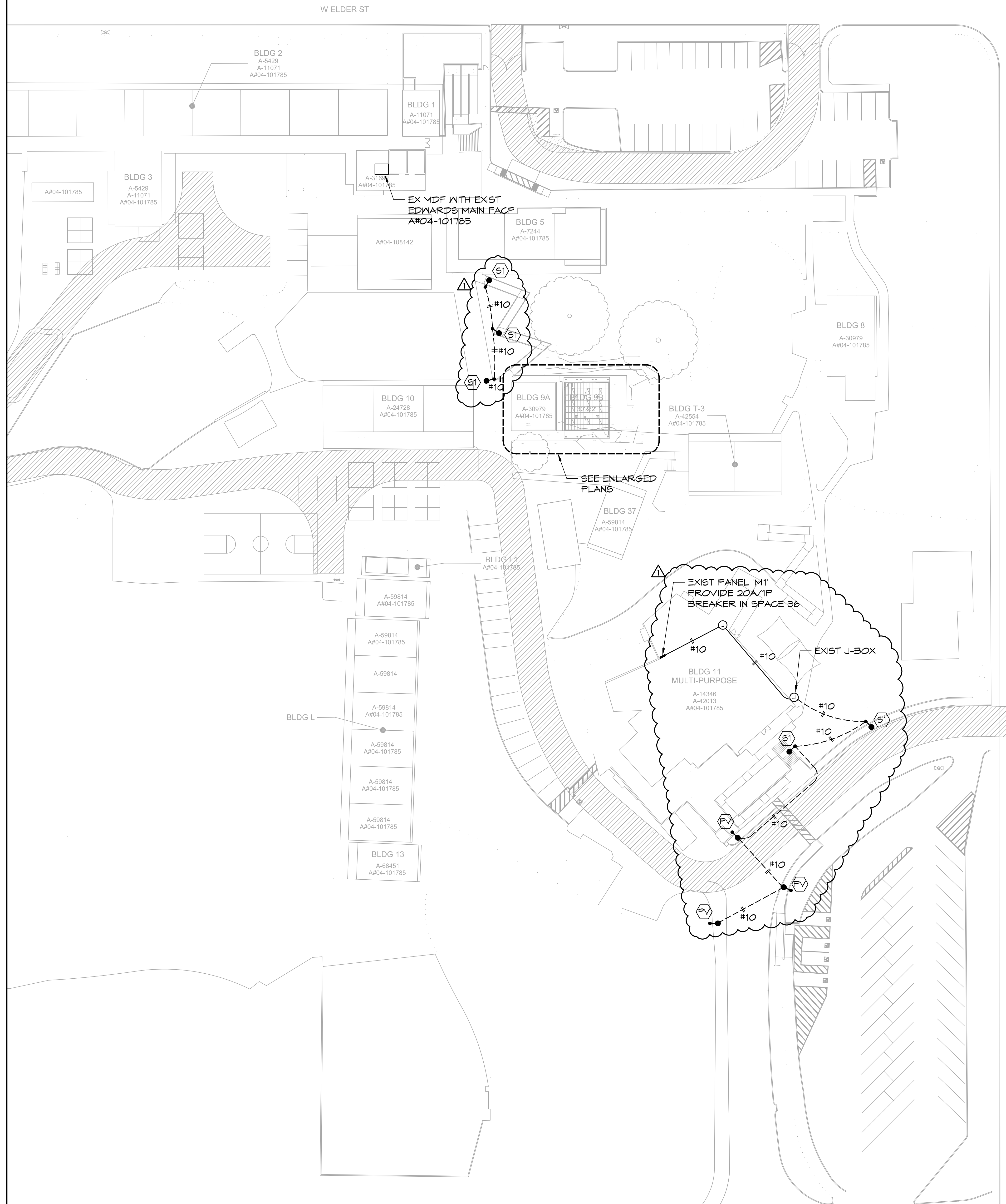
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26-008_Relo at Mae Ellis ES.pln

PLOT DATE:
9/9/2026

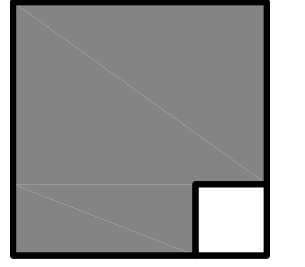
SHEET TITLE

ENLARGED NEW WORK
SITE PLAN

A-106

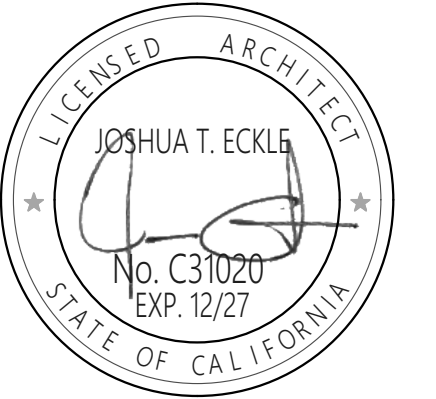


ALPHASTUDIO DESIGN GROUP



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ARCHITECT OF RECORD



ENGINEER OF RECORD

RELOCATABLE CLASSROOM

MAIE ELLIS ELEMENTARY SCHOOL

#Site Address1
#Site City, #Site State #Site Postcode
FALLBROOK UNION ELEMENTARY
321 IOWA ST FALLBROOK CA 92028

REVISIONS		
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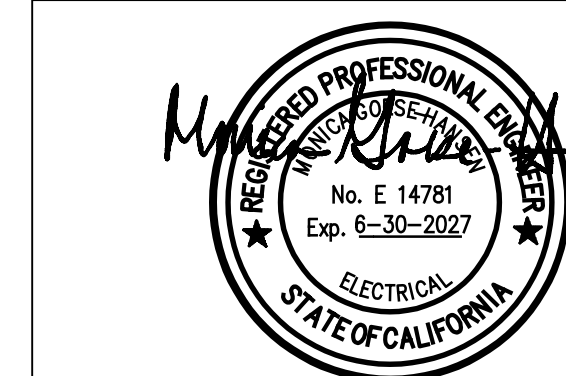
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MODEL FILE:
26-008_Relo at Maie Ellis ES.pln

PLOT DATE:
6/3/2026

SHEET TITLE

OVERALL SITE PLAN

E-1.1



Power | Lighting | Multimedia
Communications | Data Networking

12875 Brookprinter Place, Suite 300
Poway, CA 92064

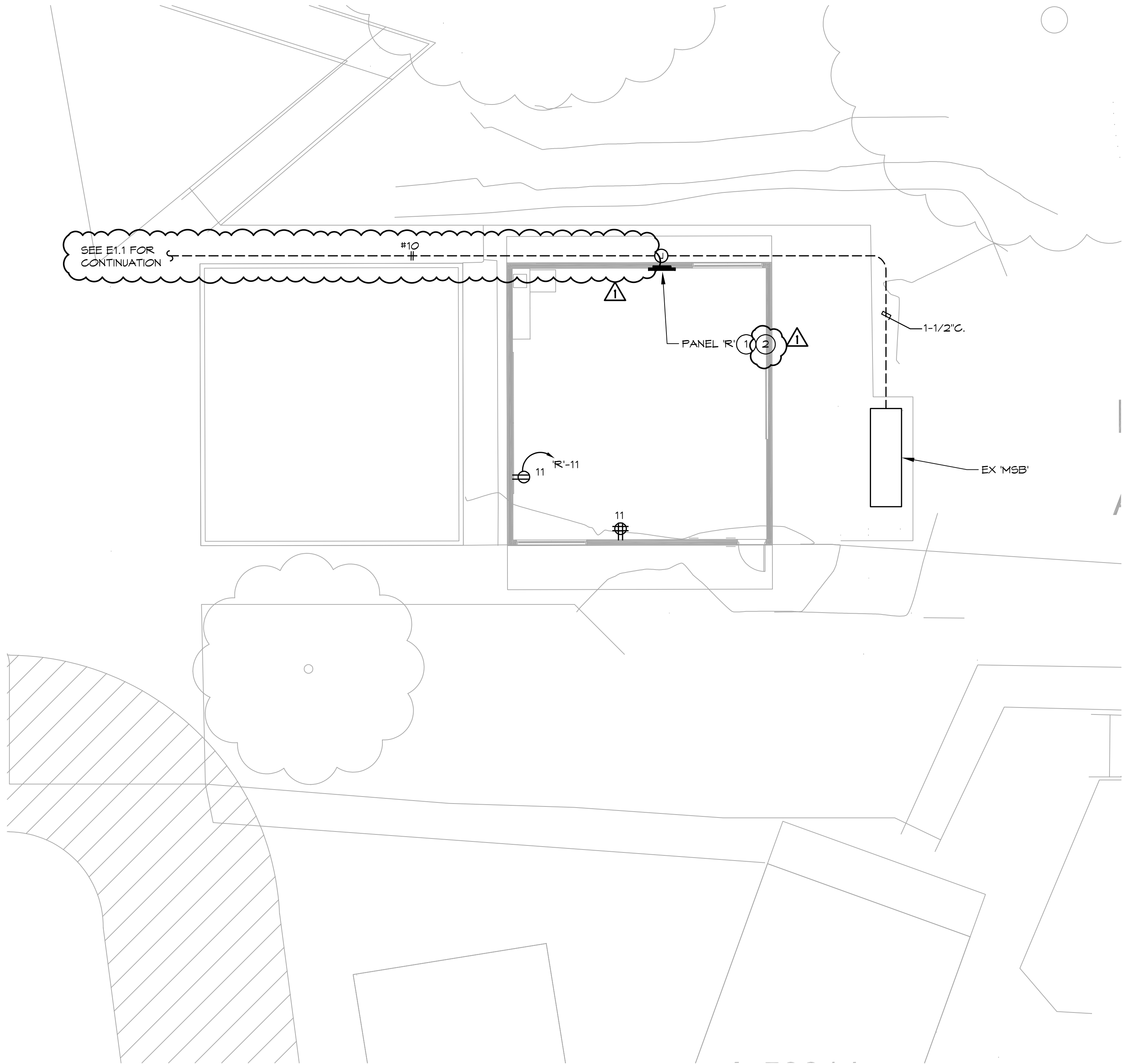
26043

9/9/2026

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1 FLOOR PLAN - POWER

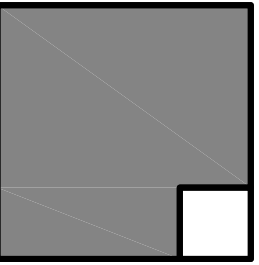
SCALE: 1/8" = 1'-0"



KEY NOTES:

- 1 PROVIDE 20A/1P BREAKER IN EXISTING SPACE #11.
- 2 PROVIDE 20A/1P BREAKER IN EXISTING SPACE #8 FOR EXTERIOR LIGHTING.

ALPHASTUDIO DESIGN GROUP



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ARCHITECT OF RECORD



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RELOCATABLE CLASSROOM

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#Site Address1
#Site City, #Site State #Site Postcode

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6/3/2026

SHEET TITLE

FLOOR PLAN - POWER

E-3.1

726043 9/3/2026

JOHNSON
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